



Village of Greenport Building Department
236 Third Street, Greenport, New York 11944
OFFICE: 631.477.0248 / FAX: 631.477.1877

AMENDED NOTICE OF DISAPPROVAL

Date: March 4, 2021

To: Donald Williams
511 Carpenter Street
Greenport, New York 11944

PLEASE TAKE NOTICE that your application dated December 24, 2020 – with required documents received on January 7, 2021 - to make alterations to a 2-story building and an accessory structure at 511 Carpenter Street - is returned herewith and disapproved on the following grounds:

1. Building Height Requirements.

150-12 District Regulations

One-Family dwelling: Max. Height: 35' OR 2 ½ Stories. (R-2)

The plans show a proposed third floor addition. This would require an area variance for a third story.

2. Lot Coverage Requirements.

150-12 District Regulations

One-Family dwelling: Max. lot coverage: 30% (R-2)

The specifications show the proposed lot coverage is 2,525 SF (52%). The allowable lot coverage is 1,437 SF (30%) This would require an area variance of 1,088 SF (22%) lot coverage increase.

3. Front Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Front Yard Setback: 30-feet. (R-2)

The plans show the front yard of the 2-story building setback of 1-feet, 6-inches. This would require an area variance of 28-feet, 6-inches.

4. Side Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Side Yard Setback: 10-feet. (R-2)

The plans show the front yard setback of 1-feet, 6-inches. This would require an area variance of 8-feet, 6-inches.

5. Combined Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Combined Yard Setbacks: 25-feet. (R-2)

The plans show the front yard setback of 1-feet, 6-inches on the north side. And 3-feet, 4-inches on the south side. this would require an area variance of 20-feet, 4-inches.

6. Rear Yard Setback Requirements.

150-12 District Regulations

One-Family dwelling: Rear Yard Setback: 30-feet. (R-2)

The plans show the front yard setback of 5-feet, 6-inches. This would require an area variance of 24-feet, 6-inches.

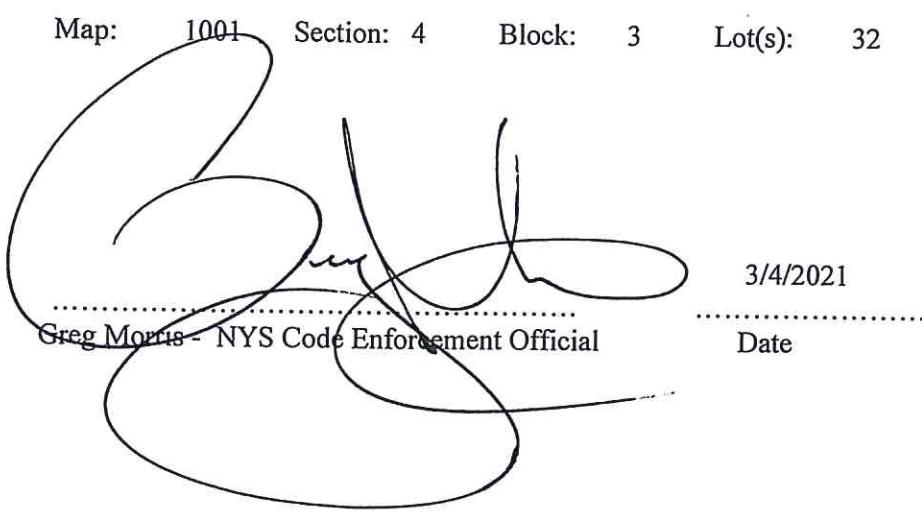
This application is therefore denied, requiring the above-mentioned use variances and area variances.

Additionally, this project will have to obtain a Certificate of Appropriateness from the Historic Preservation Commission prior the issuance of Building Permit.

The premise to which this application applies to is located at:
511 Carpenter Street, Greenport, New York 11944.

This property is located in the R-2 District. This Property is located in the Historic District.

Map: 1001 Section: 4 Block: 3 Lot(s): 32



617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
<p>Name of Action or Project: 511 Carpenter Street</p>			
<p>Project Location (describe, and attach a location map): 511 Carpenter Street, Greenport NY</p>			
<p>Brief Description of Proposed Action: Renovation for a single family to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck will be 175SQFT.</p>			
Name of Applicant or Sponsor: Isaac Clay Coffey, Margot Coffey		Telephone: 646-275-2447 E-Mail: margot@isaac-rae.com	
Address: 11575 Main Bayview Road			
City/PO: Southold		State: NY	Zip Code: 11971
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Building Department Historical Review Board		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
3.a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.11 acres NA acres .11 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

BUILDING DEPARTMENT 2021
FILE COPY

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: _____ Date: _____ Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency _____ Date _____	
Print or Type Name of Responsible Officer in Lead Agency _____ Title of Responsible Officer _____	
Signature of Responsible Officer in Lead Agency _____ Signature of Preparer (if different from Responsible Officer) _____	

PRINT



ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944
(631) 477-0248
www.villageofgreenport.org

Date of Application _____

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Jenna and Donald Williams

First Name _____ Last Name _____ Business Name, if applicable _____

Mailing Address _____ City/ Town/ Village _____ State _____ Zip _____

Phone # _____ E-Mail Address _____

CONTACT PERSON (if different from owner)

The person to receive all correspondence:

Isaac Clay Coffey Isaac-Rae Studio
First Name Last Name Business Name, if applicable

11575 Main Bayview Road Southold NY 11971
Mailing Address _____ City/ Town/ Village _____ State _____ Zip _____

347-276-6093 clay@isaac-rae.com
Phone # _____ E-Mail Address _____

IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.

Location:

Suffolk County Tax Map Number: 1001 Section: 4 Block: 3 Lot 32

Street Address: 511 Carpenter Street Greenport, New York, 11944

Zoning District: WC R1 R2 PD CR CG

Is property located within the Historic District? Yes No



ZONING BOARD OF APPEALS APPLICATION **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

The Code Official reviewed and denied an application dated January 12, 2021 for a Building Permit for the location specified on this application.

Provisions of the Zoning Code appealed:

(Indicate Article, Section and Subsection of Zoning Code by numbers)

Article: 2 Section: 150 - 12 Subsection: _____

Type of appeal made for:

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: _____ Section: _____ Subsection: _____

Has a prior appeal been made at any time with respect to this property? [] Yes [] No [] I Don't Know
If yes, please provide the date appeal was made: March 31, 1983

Project Description:

For Demolition of Existing Building Areas:

Please describe area being removed:

Construction will remove the deteriorating existing back deck and exterior stairs. A portion of an exterior wall will be removed to connect primary structure with accessory structure.

New Construction Areas (New Dwelling or New Addition/Extensions)

Dimensions of First Floor (Addition/Extension): 20sqft ground floor extension to connect buildings

Dimensions of Second Floor Addition/Extension) : 175 sqft 2nd floor deck _____

Height (from finished grade to top of ridge): 38 - Feet, 0 - Inches

Is basement or lowest floor area being constructed? [] Yes [] No

If yes, please provide height (above ground) measured from natural existing grade to first floor:

 - Feet, - Inches.

**BUILDING DEPARTMENT
FILE COPY**

FEB 05 2021



ZONING BOARD OF APPEALS APPLICATION **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Project Description: (CONTINUED)

Proposed Construction Description: (Alteration or Structural Changes)

Number of floors BEFORE alterations: 2.5

Describe General Characteristics BEFORE alterations:

A pre-existing non-conforming 2.5-story 5,503 sq ft building and a pre-existing non-conforming 4791.6 sq ft accessory structure located in the front and side yards.

Number of floors AFTER Alterations: 2.5

Describe General Characteristics AFTER alterations:

A 2.5 story 5,523 sq ft building that incorporates existing accessory structure and constructs habitable living space including (4) bedrooms and (1) bath on the existing ground floor and creates (1) bath and (1) bedroom as on the existing the 2.5 floor.

Calculations of Building Areas and Lot Coverage:

Existing Square Footage of Building(s) on this property: 2,505 GROUND FLOOR SF

Proposed Increase in Building Coverage: 20 SF

Square Footage of this Lot: 4791.6 SF

Percentage of Coverage of this Lot by Building Area: 52 %

Purpose of New Construction:

Please describe:

Renovation to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck and stair will be 175 sq ft.

BUILDING DEPARTMENT

FEB 05 2021

FILE COPY



ZONING BOARD OF APPEALS APPLICATION **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Area Variance Reasons for Appeal:

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?

The requested area variances regarding Section 150-12 will not impact the characteristics of the neighborhood nor will it be a detriment to neighboring properties. The area variances will remedy the pre-existing non-conforming site of the one-family dwelling. The area variances being requested regarding Section 150-12 pertain only to the 2.5 building/one-family dwelling and are as follows: (1) to allow a 22% lot coverage increase (2) to allow an additional 29ft 6in to the front yard setback (3) allow an additional 8ft 6in to the side yard setback (4) allow an additional 13ft 9.5in combined yard setback, please note that the single-family dwelling meets the southside side yard setback, but does not meet the northside side yard setback (5) allow an additional 22ft 7.5in to the rear yard setback.

Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?

No, there is no other way to achieve the benefit that is sought by the homeowners other than requesting area variances that recognize the pre-existing non-conforming aspects of this property.

Is the requested Area Variance substantial?

The area variances requested pertaining to Section 150-12 of district regulations are as follows:

(1) to allow a 22% lot coverage increase (2) to allow an additional 29ft 6in to the front yard setback (3) allow an additional 8ft 6in to the side yard setback (4) allow an additional 13ft 9.5in combined yard setback, please note that the single-family dwelling meets the southside side yard setback, but does not meet the northside side yard setback (5) allow an additional 22ft 7.5in to the rear yard setback.

Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

No, there will be no physical or environmental impact to the neighborhood or district by granting these area variances. They merely will recognize the pre-existing non-conforming site of this property.

Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?

No, the current homeowners inherited the pre-existing non-conforming aspects of this one-family dwelling/2.5 story building and accessory structure and wish to bring this property up to village compliant standards.

Are there Covenants or Restrictions concerning this land? [] Yes [] No
If yes, please furnish copies.

AFFIDAVIT

Village of Greenport)
Town of Southold)
County of Suffolk) ss
State of New York)

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Area Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Area Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Area Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 5 day
of February 2021

Signature

Owner or Applicant



Rebecca A. Lucak
Notary Public, Suffolk County, New York

REBECCA A LUCAK
Notary Public - State of New York
No. 01LU6386882
Qualified in Suffolk County
My Commission Expires Feb. 04, 2023

BUILDING DEPARTMENT
FILE COPY

FEB 05 2021



ZONING BOARD OF APPEALS APPLICATION **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944
(631) 477-0248
www.villageofgreenport.org

Date of Application _____

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, and species of lumber and quality of material, where applicable.

THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Jenna and Donald Williams

First Name	Last Name	Business Name, if applicable
[REDACTED]	[REDACTED]	[REDACTED]

Mailing Address	City/ Town/ Village	State	Zip
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

Phone #	E-Mail Address
[REDACTED]	[REDACTED]

CONTACT PERSON (if different from owner)

The person to receive all correspondence:

First Name	Last Name	Business Name, if applicable
Isaac Clay	Coffey	Isaac-Rae Studio

Mailing Address	City/ Town/ Village	State	Zip
11575 Main Bayview Road	Southold NY	11971	

Phone #	E-Mail Address
347-276-6093	clay@isaac-rae.com

IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.

Location:

Suffolk County Tax Map Number: 1001 Section: 4 Block: 3 Lot 32

Street Address: 511 Carpenter Street Greenport, New York, 11944

Zoning District: WC R1 R2 PD CR CG

Is property located within the Historic District? Yes No



ZONING BOARD OF APPEALS APPLICATION **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

The Code Official reviewed and denied an application dated January 12, 2021 for a Building Permit for the location specified on this application.

Provisions of the Zoning Code appealed:

(Indicate Article, Section and Subsection of Zoning Code by numbers)

Article: _____ Section: 150 - 12 Subsection: _____

Type of appeal made for:

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: _____ Section: _____ Subsection: _____

Has a prior appeal been made at any time with respect to this property? [] Yes [] No [] I Don't Know
If yes, please provide the date appeal was made: March 31, 1983.

Project Description:

For Demolition of Existing Building Areas:

Please describe area being removed:

Construction will remove the deteriorating existing back deck and exterior stairs. A portion of an exterior wall will be removed to connect primary structure with accessory structure.

New Construction Areas (New Dwelling or New Addition/Extensions)

Dimensions of First Floor (Addition/Extension): 20sqft ground floor extension to connect buildings

Dimensions of Second Floor Addition/Extension) : 175 sqft 2nd floor deck _____

Height (from finished grade to top of ridge): 38 - Feet, 0 - Inches

Is basement or lowest floor area being constructed? [] Yes [] No

If yes, please provide height (above ground) measured from natural existing grade to first floor:

 - Feet, - Inches.



ZONING BOARD OF APPEALS APPLICATION AREA VARIANCE

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Project Description: (CONTINUED)

Proposed Construction Description: (Alteration or Structural Changes)

Number of floors BEFORE alterations: 2.5

Describe General Characteristics BEFORE alterations:

A pre-existing non-conforming 2.5-story 5,503 sq ft building and a pre-existing non-conforming 4791.6 sq ft accessory structure located in the front and side yards.

Number of floors AFTER Alterations: 2.5

Describe General Characteristics AFTER alterations:

A 2.5 story 5,523 sq ft building that incorporates existing accessory structure and constructs habitable living space including (4) bedrooms and (1) bath on the existing ground floor and creates (1) bath and (1) bedroom as on the existing the 2.5 floor.

Calculations of Building Areas and Lot Coverage:

Existing Square Footage of Building(s) on this property: 2,505 GROUND SFLOOR

Proposed Increase in Building Coverage: 20 SF

Square Footage of this Lot: 4791.6 SF

Percentage of Coverage of this Lot by Building Area: 52 %

Purpose of New Construction:

Please describe:

Renovation to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck and stair will be 175 sq ft.

BUILDING DEPARTMENT

FEB 05 2021

FILE COPY



ZONING BOARD OF APPEALS APPLICATION **AREA VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Area Variance Reasons for Appeal:

Please answer in detail. *Additional sheets may be submitted with preparers signature.*

Will an undesirable change occur in the characteristics of the neighborhood or will a detriment to nearby properties be created by the granting of this area variance?

The requested area variances regarding Section 150-13 will not impact the characteristics of the neighborhood nor will it be a detriment to neighboring properties. The area variances will remedy the pre-existing non-conforming site of the accessory structure. The area variances being requested regarding Section 150-13 pertain only to the accessory structure and are as follows: (1) A 3ft height allowance (2) to permit the accessory structure to remain in the side yard (3) a 4ft allowance to the front yard setback (4) a 1ft4inch allowance to the side yard setback as it violates the 5ft setback required from any lot line

Can the benefit sought by the Applicant be achieved by another method, feasible for the Applicant to pursue, other than an Area Variance?

No, there is no other way to achieve the benefit that is sought by the homeowners other than requesting area variances that recognize the pre-existing non-conforming aspects of this accessory structure.

Is the requested Area Variance substantial?

The area variances requested pertaining to Section 150-13 of district regulations are as follows:

(1) Requesting a 3ft height allowance (2) granting permission for the accessory structure to remain in the side yard (3) a 4ft allowance to the front yard setback (4) a 1ft4inch allowance to the side yard setback as it violates the 5ft setback required from any lot line.

Will the requested Area Variance have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

No, there will be no physical or environmental impact to the neighborhood or district by granting these area variances. They merely will recognize the pre-existing non-conforming site of this property.

Was the alleged difficulty self-created, which consideration shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of the Area Variance?

No, the current homeowners inherited the pre-existing non-conforming aspects of this accessory structure and wish to bring this property up to village compliant standards.

Are there Covenants or Restrictions concerning this land? [] Yes [] No

If yes, please furnish copies.

*BUILDING DEPARTMENT FEB 05 2021
FILE COPY*

AFFIDAVIT

Village of Greenport)
Town of Southold)
County of Suffolk) ss
State of New York)

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Area Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Area Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Area Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 5 day
of February 2021

Signature


Owner or Applicant

Rebecca A. Lucak
Notary Public, Suffolk County, New York

REBECCA A LUCAK
Notary Public - State of New York
No. 01LU6386882
Qualified in Suffolk County
My Commission Expires Feb. 04, 2023

BUILDING DEPARTMENT FEB 05 2021
FILE COPY



ZONING BOARD OF APPEALS APPLICATION **USE VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Date of Application _____

All information below is to be completed by the applicant. This completed application is to be accompanied by the Notice of Disapproval, Copies of Covenants and/or Restrictions, where applicable, Environmental Assessment Form, building plans showing elevations, setbacks, floor plans, room dimensions, details of footings and foundation, Survey/Site Plan and species of lumber and quality of material, where applicable.

THE OWNER OF THE PROPERTY IS: (PLEASE PRINT CLEARLY)

Jenna and Donald Williams

First Name _____ Last Name _____ Business Name, if applicable _____

Mailing Address _____ City/ Town/ Village _____ State _____ Zip _____

Phone # _____ E-Mail Address _____

CONTACT PERSON (if different from owner)

The person to receive all correspondence:

Isaac Clay Coffey / Margot Rae Coffey

Isaac-Rae Studio

First Name _____ Last Name _____ Business Name, if applicable _____

11575 Main Bayview Road _____ Southold _____ NY _____ 11971

Mailing Address _____ City/ Town/ Village _____ State _____ Zip _____

646-275-2447 _____ clay@isaac-rae.com _____ margot@isaac-rae.com

Phone # _____ E-Mail Address _____

IF ANYONE OTHER THAN THE OWNER COMPLETES THIS APPLICATION, WRITTEN CONSENT FROM THE OWNER MUST BE SUBMITTED WITH THIS APPLICATION.

Location:

Suffolk County Tax Map Number: 1001 Section: 4 Block: 3 Lot 32

Street Address: 511 Carpenter Street Greenport, New York, 11944

Zoning District: WC R1 R2 PD CR CG

Is property located within the Historic District? Yes No



ZONING BOARD OF APPEALS APPLICATION **USE VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

The Code Official reviewed and denied an application dated January 12, 2021 for a Building Permit for the location specified on this application.

Provisions of the Zoning Code appealed:

(Indicate Article, Section and Subsection of Zoning Code by numbers)

Article: _____ Section: 150 - _____ Subsection: _____

Type of appeal made for:

A Variance to the Zoning Code or Zoning Map.

An interpretation of the Village Code Article: _____ Section: _____ Subsection: _____

Has a prior appeal been made at any time with respect to this property? Yes No I Don't Know

If yes, please provide the date appeal was made: March 31, 1983.

Project Description:

For Demolition of Existing Building Areas:

Please describe area being removed:

Construction will remove the deteriorating existing back deck and exterior stairs. A portion of an exterior wall will be removed to connect primary structure with accessory structure.

New Construction Areas (New Dwelling or New Addition/Extensions)

Dimensions of First Floor (Addition/Extension): 20sqft ground floor extension to connect buildings

Dimensions of Second Floor Addition/Extension) : 175 sqft 2nd floor deck

Height (from finished grade to top of ridge): 38 - Feet, 0 - Inches

Is basement or lowest floor area being constructed? Yes No

If yes, please provide height (above ground) measured from natural existing grade to first floor:

 - Feet, - Inches.

BUILDING DEPARTMENT FEB 05 2021
FILE COPY



ZONING BOARD OF APPEALS APPLICATION **USE VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

Project Description: (CONTINUED)

Proposed Construction Description: (Alteration or Structural Changes)

Number of floors BEFORE alterations: 2.5

Describe General Characteristics BEFORE alterations:

A pre-existing non-conforming 2.5-story 5,503 sq ft building and a pre-existing non-conforming 4791.6 sq ft accessory structure located in the front and side yards.

Number of floors AFTER Alterations: 2.5

Describe General Characteristics AFTER alterations:

A 2.5 story 5,523 sq ft building that connects and incorporates existing accessory structure and constructs habitable living space including (4) bedrooms and (1) bath on the existing ground floor and creates (1) bath and (1) bedroom as on the existing the 2.5 floor.

Calculations of Building Areas and Lot Coverage:

Existing Square Footage of Building(s) on this property: 2,505 GROUND FLOOR SF

Proposed Increase in Building Coverage: 20 SF

Square Footage of this Lot: 4791.6 SF

Percentage of Coverage of this Lot by Building Area: 52 %

Purpose of New Construction:

Please describe:

Renovation to convert existing non-conforming 2.5 story building and accessory structure into habitable ground floor and 2.5 floor loft space with newly built 20 sq ft ground floor extension to connect the existing accessory structure. Ground floor renovation will include (4) bedrooms and (1) bath. Renovation will also update the lofted half floor/2.5 floor to be a code compliant habitable living space and create (1) bedroom and (1) bathroom. Construction will also include installing a code-compliant sprinkler system. Construction will also install an updated HVAC system. Construction will also rebuild and reduce the size of deteriorating existing back deck and exterior stairs. Proposed rebuilt deck and stair will be 175sqft.

BUILDING DEPARTMENT 5/10/2021

FILE COPY



ZONING BOARD OF APPEALS APPLICATION **USE VARIANCE**

236 Third Street, Greenport, New York, 11944

(631) 477-0248

www.villageofgreenport.org

An Applicant for a Use Variance must demonstrate unnecessary hardship by completing the following.
Please consult with your attorney before completing.

Use Variance Reasons for Appeal:

Please answer in detail & submit related documents as required. You may attach additional sheets as needed.

The applicant cannot realize a reasonable return, for each permitted use under the Zoning Regulations for Zoning District R-2, as demonstrated by substantial and competent financial evidence because:

(1) Regarding the Certificate of Occupancy issued on October 6 1987 that prohibits habitable space on the ground floor: The homeowners require the construction of habitable space on the ground floor for their family of seven.

(2) Regarding zoning regulations 150-8A(1), 150-7A(1)

The homeowners purchased this home based on a factor of square footage that included the accessory structure and they seek to make this structure accepted habitable space as part of the one family dwelling by constructing a 20 sq ft connector between the 2.5 story building and the accessory structure.

The alleged hardship relating to the property is unique and does not apply to most of the parcels in the same Zoning District or neighborhood because:

(1) A Certificate of Occupancy that prohibits habitable space on the ground floor in an R-2 zone district is unusual and a significant disadvantage compared to neighboring residential dwellings.

(2) The existing accessory structure is in violation to town code. By connecting this structure to the single-family dwelling the homeowners aim to make it compatible with town code and they are addressing both use and area violations on this property in order to do so properly.

The requested Use Variance, if granted, will not alter the essential character of the neighborhood because:

The Use Variance will not alter the essential character of the neighborhood because this variance aims only to utilize the existing square footage already provided within the 2.5 story building and accessory structure with minimal construction to the exterior in order to connect the buildings.

The alleged hardship has not been self-created because:

The current homeowners inherited the pre-existing non-conforming aspects of this property and wish to bring this property up to village compliant standards while renovating to accommodate their family. There is no other way to achieve the benefit that is sought by the homeowners other than requesting these use variances that recognize the pre-existing non-conforming aspects of this property and help to remedy them.

Are there Covenants or Restrictions concerning this land? [] Yes [x] No
If yes, please furnish copies.

BUILDING DEPARTMENT *FEB 05 2021*

FILE COPY

AFFIDAVIT

Village of Greenport)
Town of Southold)
County of Suffolk) ss
State of New York)

I swear that to the best of my knowledge and belief that the statements contained in this application, together with the plans and specifications submitted, are true and complete statements of proposed work to be done on the described premises and that all provisions of the Building Code, Zoning Code, and all other laws pertaining to the proposed work shall be complied with, whether specified or not, and that such work and inspections are authorized by the owner. The Village of Greenport is hereby granted permission to enter the property listed as the "Location" for the purposes of inspecting my property for a site visit. I understand that if approved, this Use Variance will be granted and accepted on condition that the provisions of Federal, State and Local rules and regulations, and any additional requirements of the Use Variance are complied with. Any violation of all applicable codes, or deviations from the approved plans may result in the immediate revocation of this Use Variance & legal action taken against me. No responsibility rests upon the Village of Greenport, Code Enforcement, the Fire Marshal or the Fire Department by reason of this application and permit.

Sworn to be before this 5 day
of February 20 21

Signature


Owner or Applicant

Notary Public, Suffolk County, New York

REBECCA A LUCAK
Notary Public - State of New York
No. 01LU6386882
Qualified in Suffolk County
My Commission Expires Feb. 04, 2023

BUILDING DEPARTMENT
FILE COPY FEB 05 2021

GENERAL NOTES :

CONSTRUCTION NOTES:	
1.	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
2.	DIMENSIONS SHALL TAKE PREDOMINANT OVER SCALED DRAWINGS (DO NOT SCALE DRAWINGS).
3.	REFER TO THE WINDOW AND DOOR SCHEDULE FOR EXTERIOR OPENINGS.
4.	REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING PLANS
5.	REFER ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS
6.	INCLUDING SLAB AND FINISH FLOOR ELEVATIONS 130 MPH WIND LOAD REQUIREMENTS SHALL BE TAKEN INTO ACCOUNT DURING CONSTRUCTION.

FOUNDATION NOTES:	
1.	THE GENERAL CONTRACTOR AND MASON TO REVIEW PLANS, ELEVATIONS, DETAILS AND NOTES TO DETERMINE INTENDED HEIGHTS OF FINISHED FLOORS ABOVE GRADE.
2.	GENERAL CONTRACTOR TO RETAIN SURVEYOR TO SET OR VERIFY DATUMS AND FINISHED FLOOR ELEVATIONS
3.	DRAINAGE AS REQUIRED BY HALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
4.	ALL FOOTINGS MUST REST ON APPROPRIATE BEARING MATERIAL SEE STRUCTURAL ENGINEERS DRAWINGS FOR ADDITIONAL DETAILS
5.	ANY NEW CONCRETE WALLS BEING ATTACHED TO EXISTING CONCRETE STRUCTURE TO BE INSTALLED WITH #5 RE-BAR, MIN 18" LONG AT 12°CC. MIN EMBEDDING TO BE 9" USE APPROVED EPOXY FOR ANCHORING
6.	UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE TO BE 4000 P.S.I. CONCRETE TO BE POURED AT MIN 4" THICK SAND OR GRAVEL FILL WITH 6X6 WIRE MESH REINFORCING. SLAB THICKNESS TO BE MIN 5" THICK.
7.	ALL FILL TO BE COMPACTION TO 95% RELATIVE DENSITY AT 6" MAX LIFTS
8.	CRAWL SPACES TO BE PROVIDED WITH MIN. 24"X24" ACCESS OPENING.
9.	UNCONDITIONED CRAWL SPACES TO HAVE 8X16" CAST IRON
10.	FOUNDATION VENTS FOR EVERY 150 SQFT OF AREA DAMPROOF EXTERIOR OF FOUNDATION WITH BITUMINOUS COATING AS REQUIRED BY 2015 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 SUBSUPPLEMENTAL CODE. A 6 MIL POLYETHYLENE FILM SHALL BE APPLIED TO THE BELOW GRADE PORTION OF EXTERIOR WALLS PRIOR TO BACKFILLING

FRAMING NOTES	
1.	ALL FRAMING TECHNIQUES SHALL MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE AND NEW YORK DEPARTMENT OF STATE 2017 UNIFORM CODE SUPPLEMENT.
2.	STRUCTURAL LUMBER SHALL BE GREEN DOUGLAS FIR LARCH NO. 2, OR BETTER, UNLESS OTHERWISE NOTED ON THE PLANS
3.	INTERIOR METAL FRAMING SHALL BE 18 GAUGE OR BETTER UNLESS OTHERWISE NOTED ON THE PLANS
4.	FLOORS, WALLS, CEILINGS AND RAFTERS TO BE SPACED AT 16 INCHES O.C. UNLESS NOTED
5.	UNLESS OTHERWISE NOTED, ALL BEARING WALL HEADERS TO BE (2) 2X10 #2 + BTR. DOUG. FIR BEARING WALL HEADERS TO HAVE (2) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF ALL OPENINGS. LVL HEADERS TO HAVE (3) JACK STUDS AND (2) FULL LENGTH STUDS ON EACH SIDE OF OPENINGS. BEARING WALL WINDOW SILLS SHALL ALSO HAVE (2) WINDOW SILL PLATES FOR 2X4 WALL OPENINGS BETWEEN 4'1" AND 6'0" AND 2X6 WALL OPENINGS BETWEEN 5'11" AND 8'9". PROVIDE FIRE AND BLOCKING WHERE APPLICABLE.
6.	ALL FLUSH BEAMS/HEADERS TO BE INSTALLED WITH HEAVY DUTY GALVANIZED HANGERS AND ANCHORS WHERE APPLICABLE TO ALL CONNECTING JOISTS.
7.	DOUBLE UP FLOOR JOISTS UNDER WALLS THAT RUN PARALLEL TO THE FLOOR JOIST AND UNDER BATHTUBS. FLOORS TO HAVE CERAMIC TILE INSTALLED SHALL BE VERIFIED FOR PROPER LOAD CAPACITY UNLESS NOTED ON PLANS.
8.	7). PROVIDE 2 - 1-3/4" THICK MICROLAM (HEIGHT TO MATCH FLOOR JOISTS) AROUND STAIRWELL AND/OR OTHER ACCESS OPENINGS UNLESS OTHERWISE NOTED (TYPICAL).
9.	PROVIDE BLOCKING/BRIDGING IN FLOOR JOISTS AT 8'0" O.C.. USE SOLID BLOCKING IN FLOOR JOISTS UNDER ALL BEARING WALLS.
10.	PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
11.	INSTALL DRAFT BLOCKING AS NEEDED.
12.	UNLESS OTHERWISE NOTED, ALL ROOFS AND WALLS TO HAVE A MINIMUM 1/2" THICK, 4-PLY FIR CDX EXTERIOR SHEATHING GRADE PLYWOOD, PLYWOOD TO COVER OVER PLATES AND HEADERS.
13.	UNLESS OTHERWISE NOTED USE 3/4" THICK T&G PTS FIR OR ADVANTECH PLYWOOD SUBFLOOR ADHERED WITH PL400 ADHESIVE AND SCREWED TO FLOOR JOISTS. FINISHED FLOOR TO BE INSTALLED OVER SUBFLOOR AS PER MANUFACTURE'S INSTRUCTIONS.
14.	ALL BATHROOM WALLS TO HAVE 5/8" THICK MOISTURE-RESISTANT SHEETROCK.
15.	1 HR FIRE RATED ASSEMBLYS TO HAVE ONE LAYER OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSI/UL 263 AND UL DESIGN NO. U419
16.	2 HR FIRE RATED ASSEMBLYS TO HAVE TWO LAYERS OF 5/8" TYPE X SHEET ROCK AND TO MEET ANSI/UL 263 AND UL DESIGN NO. U419
17.	ALL ROOFS AND SHEATHING TO BE INSTALLED WITH ICE AND WATER SHIELD, HENRY BLUE SKIN OR APPROVED EQUAL.
18.	ALL FLAT ROOFS TO BE APPLIED WITH AN EPDM 6MILL MATERIALS ALL SILL PLATES IN WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. SILL PLATES TO BE INSTALLED WITH FOAM SILL GASKETS AND COP-R-TEX TERMITE SHIELD OR APPROVED EQUAL. N.Y.S. Residential Construction Code.

FIREBLOCKING NOTES	
AS REQUIRED BY CURRENT 2018 IBC/2017 SUPPLEMENT - FIREBLOCKING REQUIRED, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.	
FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:	
1.	IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET. BATTs OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
2.	AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3.	IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH CURRENT N.Y.S. RESIDENTIAL CODE.
4.	AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
5.	RECOMMENDED FIRE BLOCKING PRODUCTS BOSS 814 OR APPROVED EQUAL TO MEET ASTM E-814 (UL 1479)
6.	PROVIDE 5/8" TYPE-X SHEETROCK FIRE STOPPING AT 10'0" MAXIMUM DISTANCES FOR NON ACCESSIBLE AREAS.

THESE NOTES ARE ONLY TO BE REFERRED TO IF MENTIONED IN SCHEDULE NOTES ONLY.

NAILING SCHEDULE

DESIGN CRITERIA 2015 INTERNATIONAL BUILDING CODE /2017 SUPPLEMENT

ROOF			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
RAFTER TO TOP PLATE	8' WALL: 3-8d 10' WALL: 4-8d	EACH RAFTER	TOE-NAIL
CEILING JOIST TO TOP PLATE	8' WALL: 3-8d 10' WALL: 4-8d	EACH JOIST	TOE-NAIL
CEILING JOIST TO PARALLEL RAFTER	AS PER TABLE 3.7 WFCM -	EACH LAP	FACE NAIL
CEILING JOIST LAPS OVER PARTITION	AS PER TABLE 3.7 WFCM -	EACH LAP	FACE NAIL
COLLAR TIE TO RAFTER	AS PER TABLE 3.4 WFCM -	EACH END	FACE NAIL
BLOCKING TO RAFTER	2 - 8d	EACH END	TOE NAIL
RIM TO RAFTER	2 - 16d	EACH END	NAIL

WALL			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
TOP PLATE TO TOP PLATE	2 - 16d	PER FOO	FACE NAIL SEE NOTE: 1
TOP PLATES AT INTERSECTIONS	4 - 16d	JOINTS EA. SIDE	FACE NAIL
STUD TO STUD	2 - 16d	24" O.C.	FACE NAIL
HEADER HEADER	16d	16" O.C. ALONG	FACE NAIL
TOP OR PLATE TO STUD	2 - 16d 3 - 16d	PER 2x4 PER 2x6	END NAIL
FLOOR JOIST, BAND END JOIST OR	2 - 16d	PER FOO	FACE NAIL SEE NOTE: 1,2

ELOOR			
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING	NOTES
JOIST TO: SILL, TOP PLATE OR GIRDER	4 - 8d	PER JOIST	TOE NAIL
BRIDGING TO JOIST	2 - 8d	EACH END	TOE NAIL
BLOCKING TO JOIST	2 - 8d	EACH END	TOE NAIL
BLOCKING SILL OR TOP PLATE	3 - 16d	EACH BLOCK	TOE NAIL
LEDGER STRIP TO	3 - 16d	EACH JOIST	FACE NAIL
JOIST ON TO	3 - 8d	PER JOIST	TOE NAIL
BAND JOIST TO JOIST	3 - 16d	PER JOIST	END NAIL
BAND JOIST TO: SILL OR TOP PLATE	2 - 16d	PER FOO	TOE NAIL SEE NOTE: 1

ROOF		
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL	8d	AS PER TABLE 3.8 WFCM -

CEILING SHEATHING:		
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
GYPSU WALLBOAR	5d	7" O.C. 10" O.C. FIELD

WALL SHEATHING:		
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL PANELS	8d	AS PER TABLE 3.9 WFCM -
7/16" OSB PLYWOOD	6d	3" O.C. 6" O.C. FIELD
GYPSU WALLBOAR	5d	7" O.C. 10" O.C. FIELD

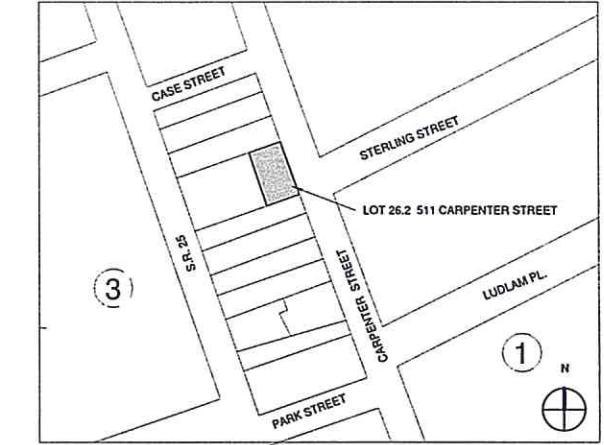
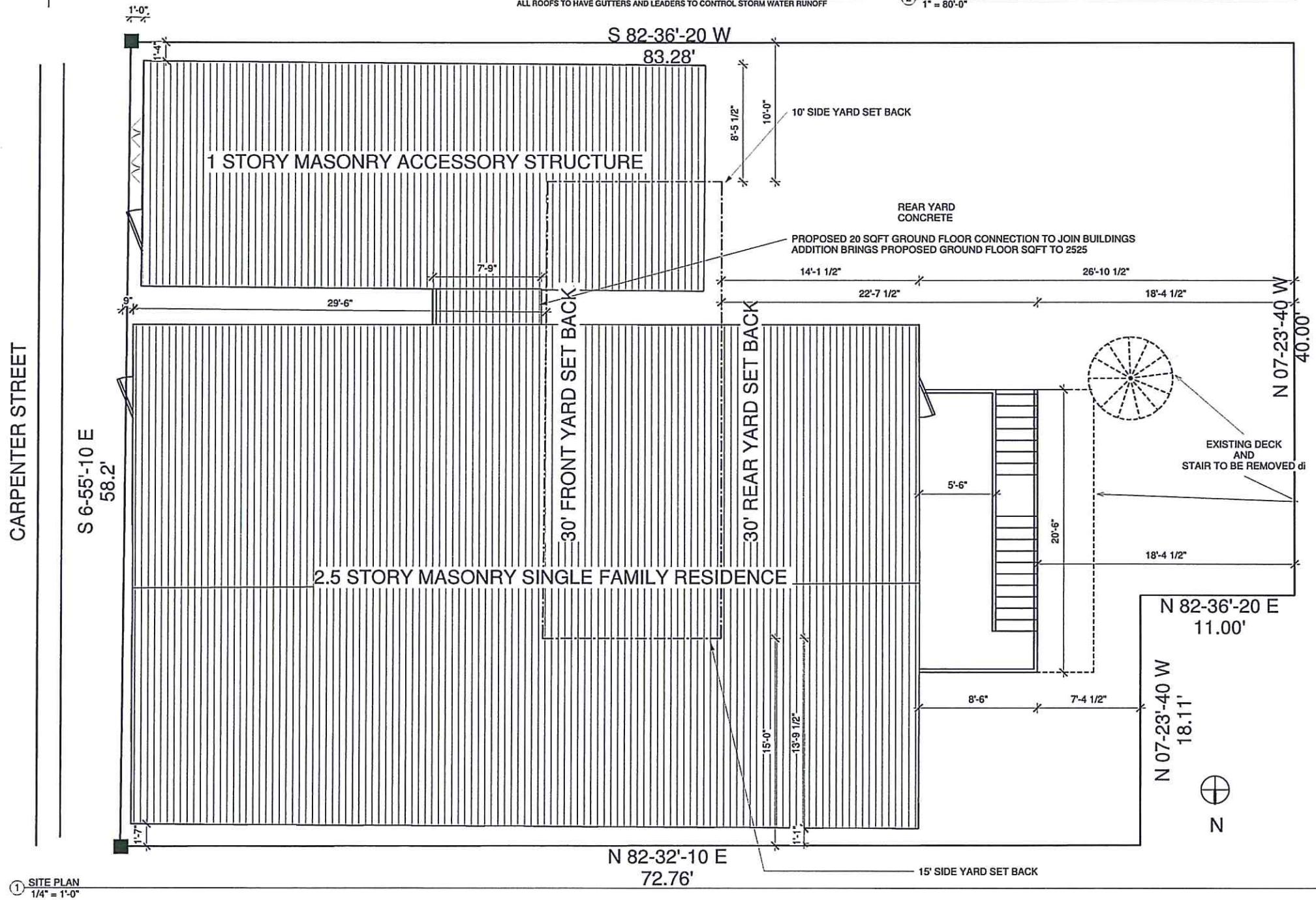
FLOOR SHEATHING:		
JOINT DESCRIPTION	NAIL QTY.	NAIL SPACING
STRUCTURAL 1" OR LESS	8d	6" O.C. 12" O.C. FIELD

1). Nailing requirements are based on wall sheathing nailed 6" on-center at the panel edge. If wall sheathing is nailed 3" on-center at the panel edge to obtain higher shear capacities, nailing requirements for structural members shall be doubled, or alternate connectors, such as shear plates, shall be used to maintain load path.

2). When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1 - 16d nail per foot

HVAC SYSTEM NOTES		
1).	Mechanical subcontractor is responsible for adhering to all applicable codes and safety requirements	
2).</td		

91' TO PARK STREET



NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2020	Greenport ZBA Submited
3		
4		
5		
6		

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:
SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE
PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:
ISAAC - RAE

11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Colley
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944

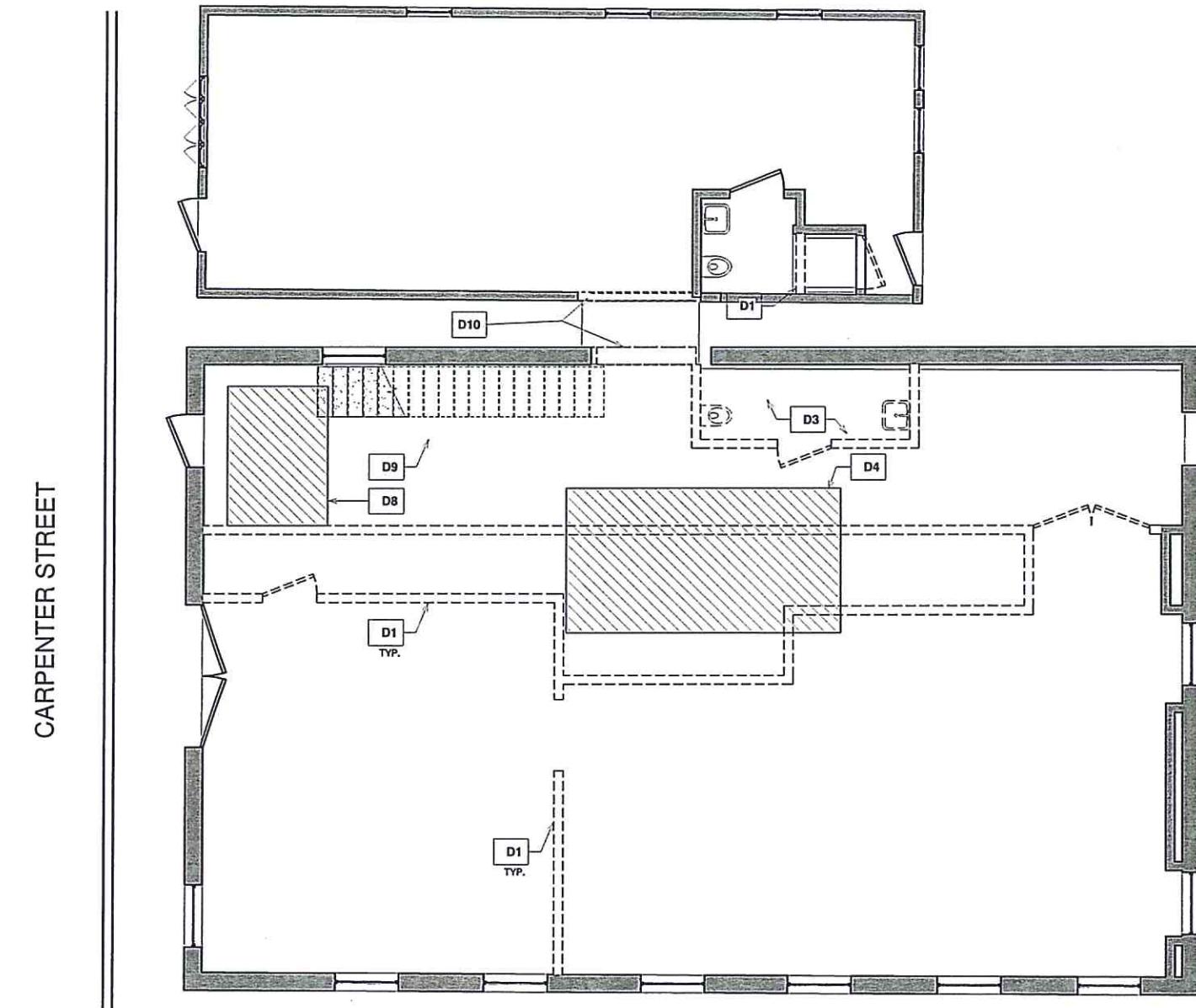
Project No.:
IR-02
Seal/Signature:

MAR 1 1 2021

Date: Scale:
Drawing Title: AS NOTED
SITE PLAN

Drawing No.:

A-100.00



DEMOLITION NOTES

- D1. Remove exiting non load bearing interior walls
- D2. Existing stair to 2nd floor to be retained
- D3. Remove existing powder room. Plumbing fixtures to be relocated.
- D4. Remove existing flooring in this area to prepare for proposed bathroom.
- D5. Remove existing non compliant deck, stair and other associated structure
- D6. Remove existing doors and replace with fixed Marvin picture window
- D7. Demo existing handrail to be replaced with proposed code compliant handrail in proposed plan
- D8. Remove ceiling in this location for fire proposed fire sprinkler system
- D9. Existing stair to remain protected during construction.
- D10 Remove portion of exterior wall

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2020	Greenport ZBA Submitted
3		
4		
5		
6		

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:

SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:

ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Coffey
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:

511 CARPENTER ST.
GREENPORT NY 11944

Project No.:

IR-02

Seal/Signature:

MAR 11 2021

WALL TYPE LEGEND

- — — Demolition / Removals
- — — Existing Construction

Date: Scale:
AS NOTED

Drawing Title: REMOVAL PLAN

Drawing No.:

A-101.00

NOTES

DEMOLITION NOTES

D1. Remove exiting non load bearing interior walls
 D2. Existing stair to 2nd floor to be retained
 D3. Remove existing powder room. Plumbing fixtures to be relocated
 D4. Remove existing flooring in this area to prepare for proposed bathroom.
 D5. Remove existing non compliant deck, stair and other associated structure
 D6. Remove existing doors and replace with fixed Marvin picture window
 D7. Demo existing handrail to be replaced with proposed code compliant handrail in proposed plan
 D8. Remove ceiling in this location for fire proposed fire sprinkler system
 D9. Existing stair to remain protected during construction.
 D10 Remove portion of exterior wall

DRAWING ISSUE		
NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2021	Greenport ZBA, Submittal
3		
4		
5		
6		

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:

SPINKLER ENGINEER
 Sentry Automatic Fire Protection Inc.
 735 Flanders road
 Flanders, New York 11901

Architect of Record:

ISAAC - RAE

11575 Main Bayview Road
 Southold, NY 11971

Contact: Isaac Clay Coffey
 NYS LIC#039767
 T. 347-276-6093 E. clay@isaac-rae.com

Project:

511 CARPENTER ST.
 GREENPORT NY 11944

Project No.:
 IR-02
 Seal/ Signature:

MAR 1 1 2021

WALL TYPE LEGEND

— Demolition / Removals
 █ Existing Construction

Date: Scale:
 AS-NOTED
 Drawing Title:
 REMOVAL PLAN

Drawing No.:

A-102.00

① 2ND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

NOTES

DEMOLITION NOTES

D1. Remove exiting non load bearing interior walls
 D2. Existing stair to 2nd floor to be retained
 D3. Remove existing powder room. Plumbing fixtures to be relocated
 D4. Remove existing flooring in this area to prepare for proposed bathroom.
 D5. Remove existing non compliant deck, stair and other associated structure
 D6. Remove existing doors and replace with fixed Marvin picture window
 D7. Demo existing handrail to be replaced with proposed code compliant handrail in proposed plan
 D8. Remove ceiling in this location for fire proposed fire sprinkler system
 D9. Existing stair to remain protected during construction.
 D10 Remove portion of exterior wall

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE COSES.

Architect:

ISAAC - RAE

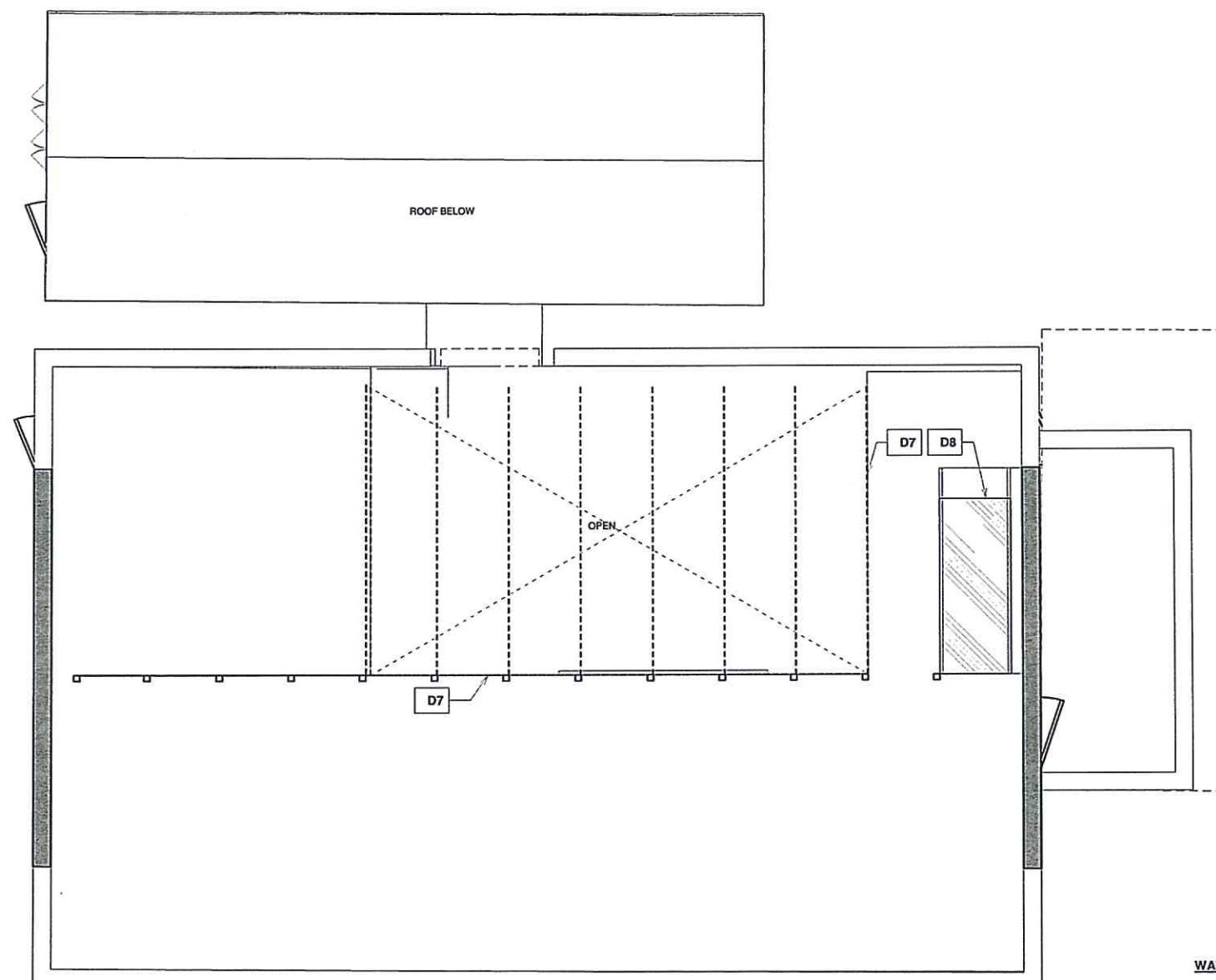
37 Noble Street
 Brooklyn, NY 11222
 Contact: Peter Storey

T. 617-824-0810 E. peter@isaac-rae.com

Project:
511 CARPENTER ST.
 GREENPORT NY 11944

Project No.:
IR-02
 Seal/Signature:

MAR 1 1 2021

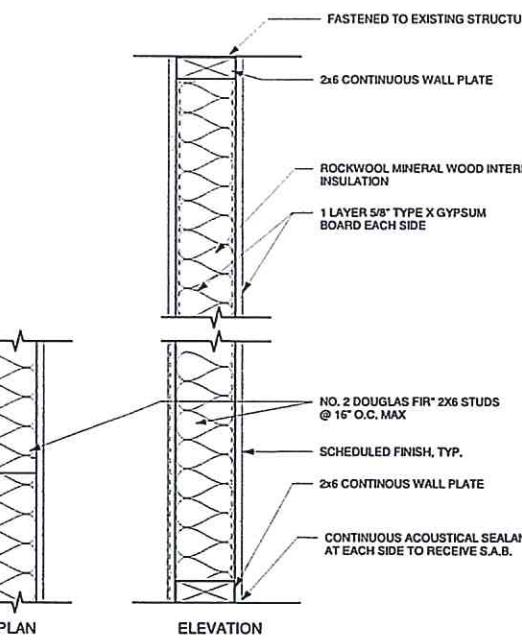


WALL TYPE LEGEND

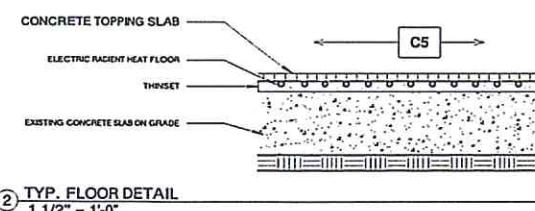
— — — Demolition / Removals
 ————— Existing Construction

Date: 12/24/2020 Scale: AS NOTED
 Drawing Title: REMOVAL PLAN

Drawing No.: **A-103.00**
 Author:

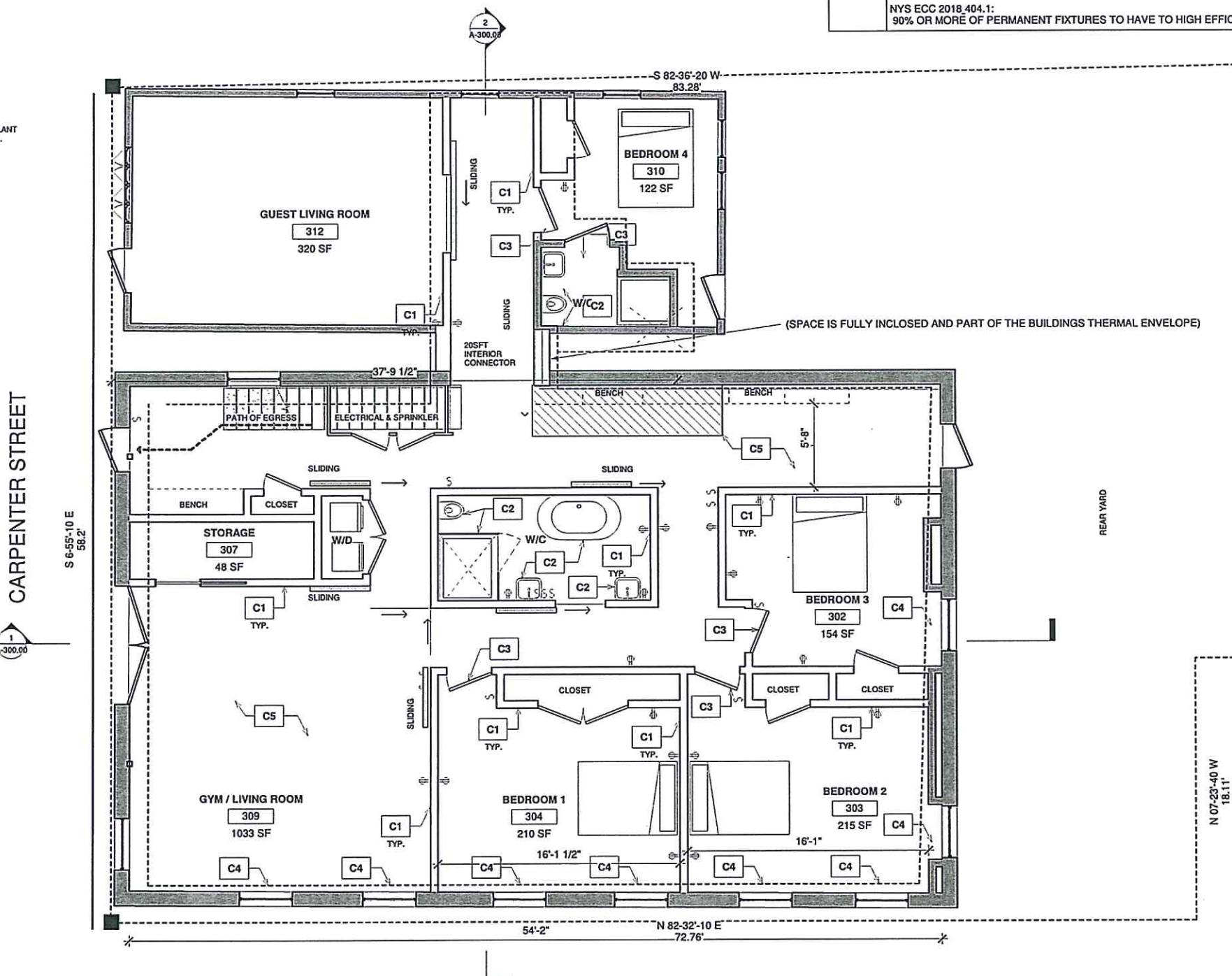


③ TYP. INTERIOR WALL DETAIL
1 1/2" = 1'-0"



② TYP. FLOOR DETAIL
1 1/2" = 1'-0"

CARPENTER STREET



PLAN LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- EXTENTS OF WORK
- PATH OF EGRESS TRAVEL

① GROUND FLOOR PLAN PROPOSED
1/4" = 1'-0"

CONSTRUCTION NOTES

KEY	NOTE
C-01	PROPOSED INTERIOR WALL
C-02	PROPOSED PLUMBING FIXTURES
C-03	PROPOSED INTERIOR DOORS
C-04	EXISTING EGRESS DOOR TO REMAIN
C-05	PROPOSED CONCRETE TOPPING THROUGHOUT
C-06	DOOR HARDWARE TO BE COORDINATED WITH CLIENT
C-07	EGRESS PATH TO BE PROTECTED VIA AUTOMATIC FIRE SPRINKLERS FIRE SPRINKLERS TO BE FILED IN SEPARATE FILING
	NYS ECC 2018.404.1: 90% OR MORE OF PERMANENT FIXTURES TO HAVE TO HIGH EFFICACY LAMPS.

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	02/05/2021	TOWN ZBA REVIEW
2		
3		
4		
5		
6		

THIS APPLICATION IS APPROVED ONLY FOR WORK
INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL
OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR
TO BE CONSIDERED AS EITHER APPROVED OR IN
ACCORDANCE WITH APPLICABLE CODES.

Consultants:
Megan Walker Law (607) 222-6690
meganwalker1@gmail.com

Architect of Record:
ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Coffey
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944
Project No.:
IR-02
Seal/Signature:

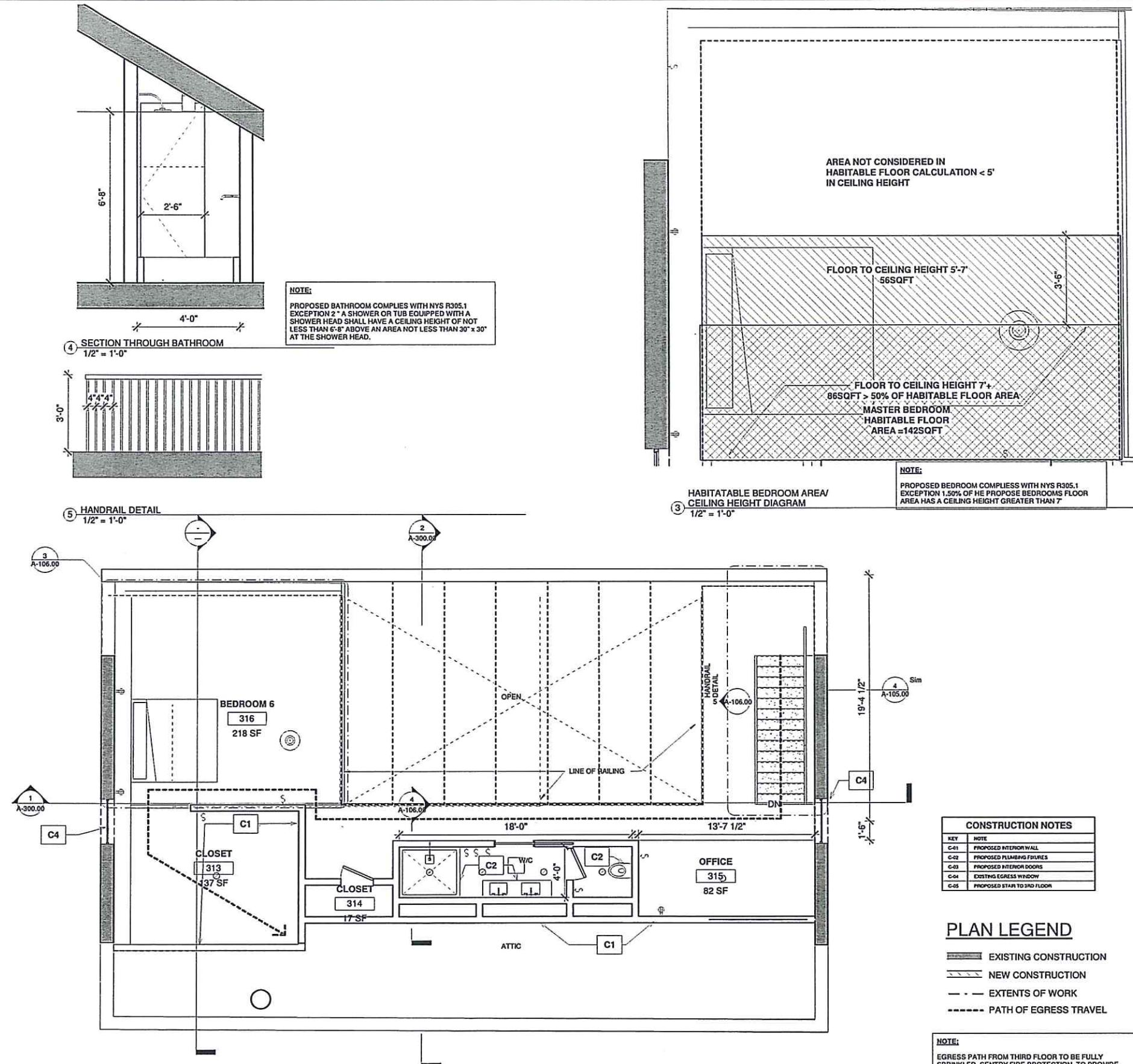


MAR 1 1 2021

Date: 6/14/2018 Scale:
Drawing Title: AS-HOTO
GROUND FLOOR PLAN

Drawing No.:

A-104.00



DRAWING ISSUE		
NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2021	Greenport ZBA Submittal
3		
4		
5		
6		

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:
SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:
ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Colley
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944

Project No.: IR-02
Seal / Signature:

MAR 11 2021

Date: Scale:
Drawing Title: AS NOTED
3RD FLOOR

Drawing No.:

A-106.00

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2020	Greenport ZBA Submittal
3		
4		
5		
6		

REFLECTED CEILING PLAN LEGEND

<input type="checkbox"/> RECESSED DOWNLIGHT	<input type="checkbox"/> S LIGHT SWITCH
<input checked="" type="checkbox"/> PENDANT LIGHTING	<input type="checkbox"/> DS DOOR SWITCH
<input type="checkbox"/> BATH FAN	

REFLECTED CEILING PLAN NOTES

1. FIRE RATED CEILING BOXES TO BE PROVIDED AT ALL PENETRATION IN FIRE RATED CEILING, INCLUDING BUT NOT LIMITED TO RECESSED LIGHTING.
2. [402.4.5] IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤ 2.0 CFM LEAKAGE AT 75 PA. REQUIREMENT RESOLUTION
- 3) [403.1.1] PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.
- 4) [403.6.1] ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICACY AND AIR FLOW LIMITS PER TABLE R403.6.1.

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:

SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:

ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971

Contact: Isaac Clay Coffey
NYS LIC#039763
T. 347-276-6093 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944

Project No.:
IR-02
Seal/ Signature:

MAR 11 2021

Date: Scale:
AS NOTED
Drawing Title:
RCP AND ELECTRICAL PLANS

Drawing No.:

A-107.00

NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2020	Greenport ZBA Submittal
3		
4		
5		
6		

REFLECTED CEILING PLAN LEGEND

- RECESSED DOWNLIGHT LIGHT SWITCH
- PENDANT LIGHTING DS DOOR SWITCH
- BATH FAN

REFLECTED CEILING PLAN NOTES

1. FIRE RATED CEILING BOXES TO BE PROVIDED AT ALL PENETRATION IN FIRE RATED CEILING, INCLUDING BUT NOT LIMITED TO RECESSED LIGHTING.
2. [402.4.5] IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤ 2.0 CFM LEAKAGE AT 75 PA. REQUIREMENT RESOLUTION
- 3) [403.1.1] PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.
- 4) [403.6.1] ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICACY AND AIR FLOW LIMITS PER TABLE R403.6.1.

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:

SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE
PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:

ISAAC - RAE

11575 Main Bayview Road
Southold, NY 11971

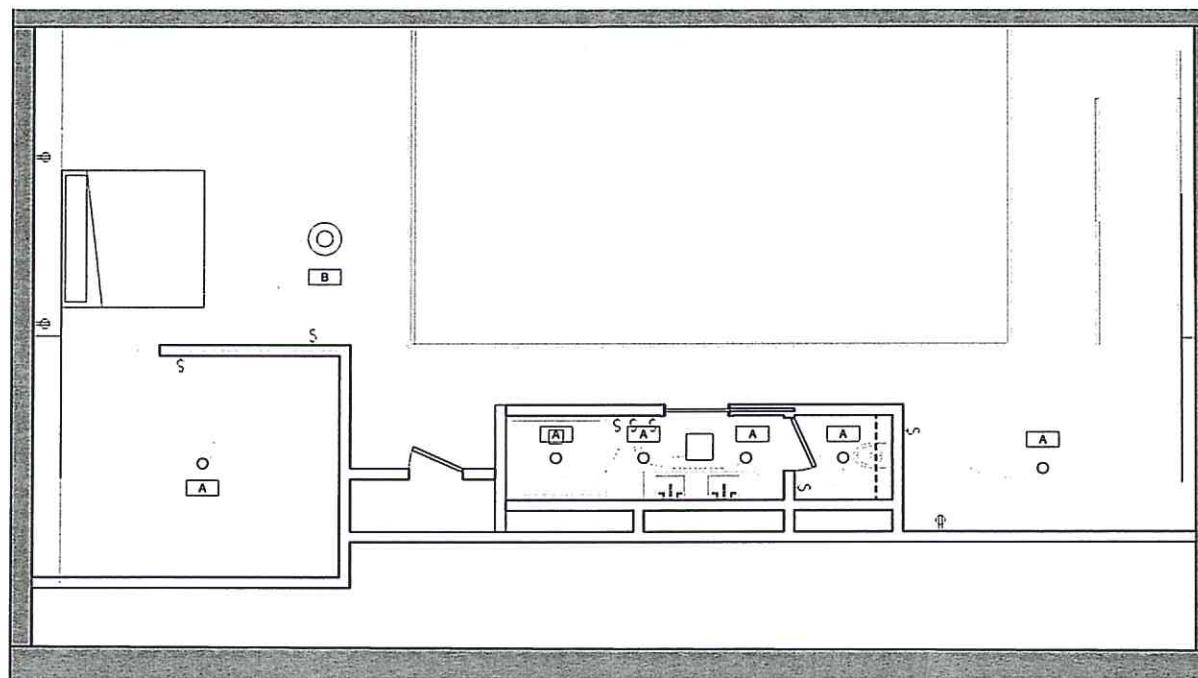
Contact: Isaac Clay Coffey
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:

511 CARPENTER ST.
GREENPORT NY 11944

Project No.:
IR-02
Seal/Signature:

MAR 1 1 2021

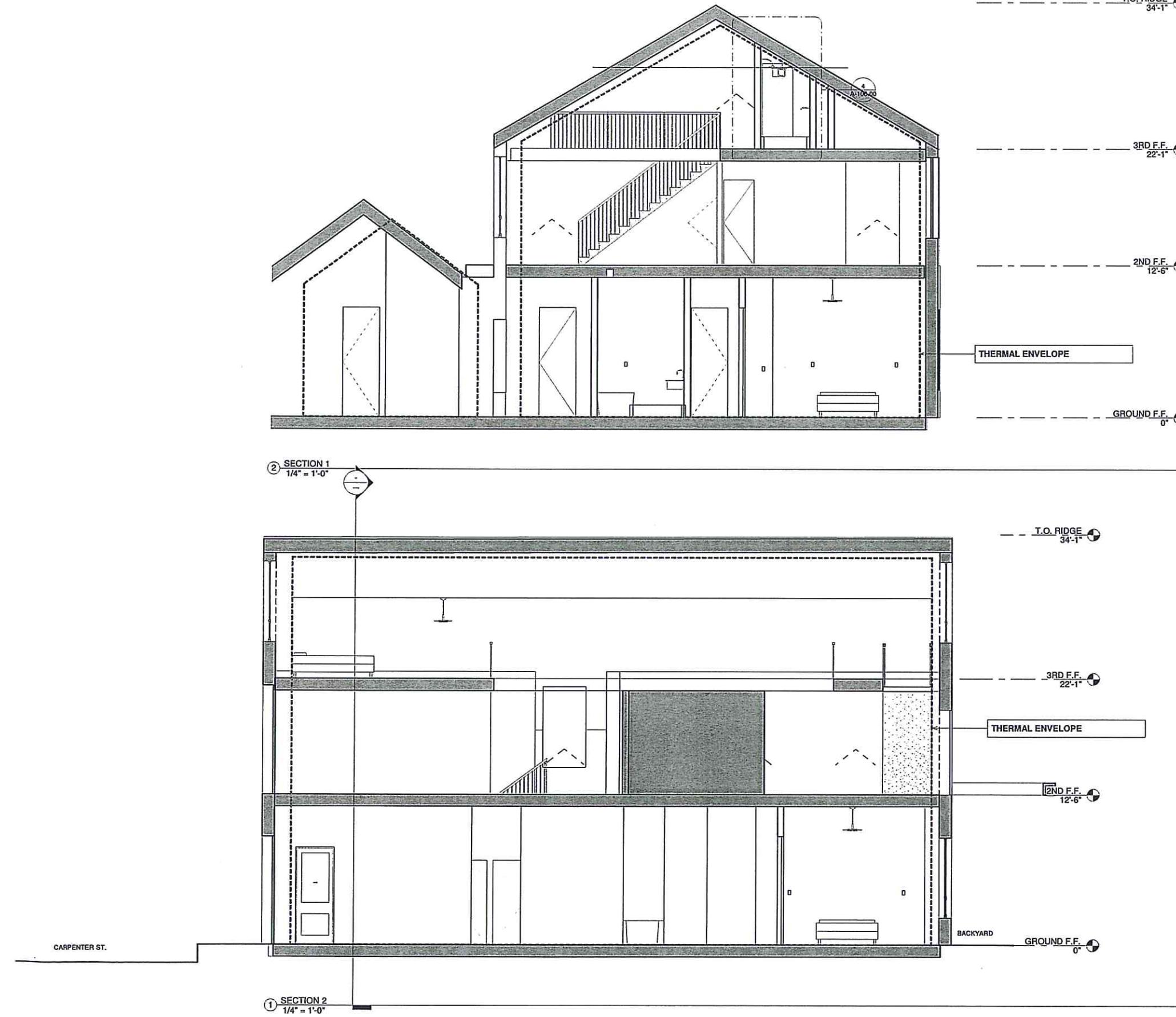


① 3RD F.F.
1/4" = 1'-0"

Date: Scale:
AS NOTED
Drawing Title:
RCP AND ELECTRICAL PLANS

Drawing No.:

A-108.00



NOTES

DRAWING ISSUE

NO.	DATE	ISSUED FOR
1	12/24/2020	Greenport Village Review
2	2/05/2021	Greenport ZBA Submittal
3		
4		
5		
6		

THIS APPLICATION IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

Consultants:

SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:

ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Coffey
NYS LIC#039767
T. 347-276-6099 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944

Project No.:
IR-02
Seal/Signature:

MAR 1 1 2021

Date: Scale:
Drawing Title: AS SHOWN
BUILDING SECTION

Drawing No.:

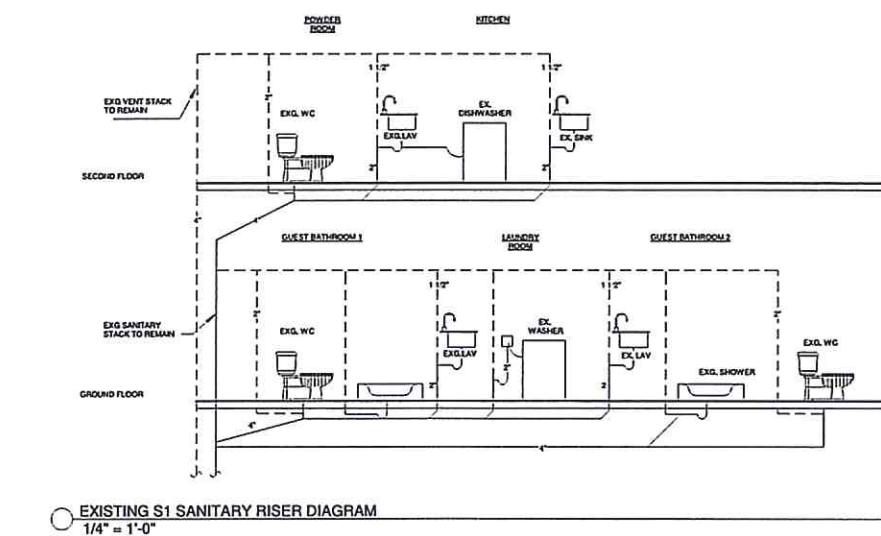
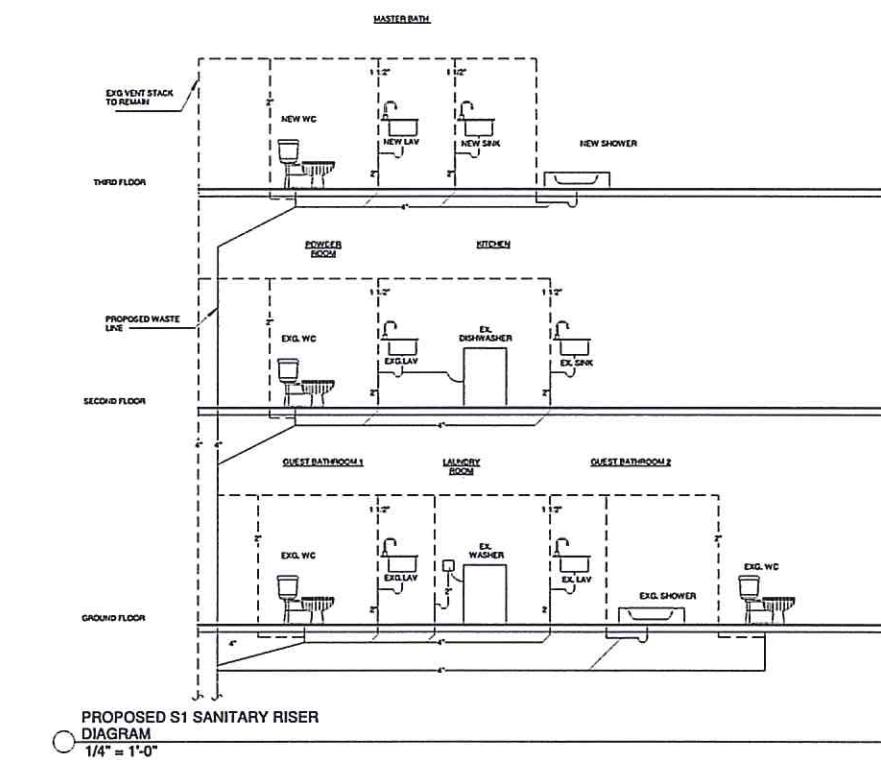
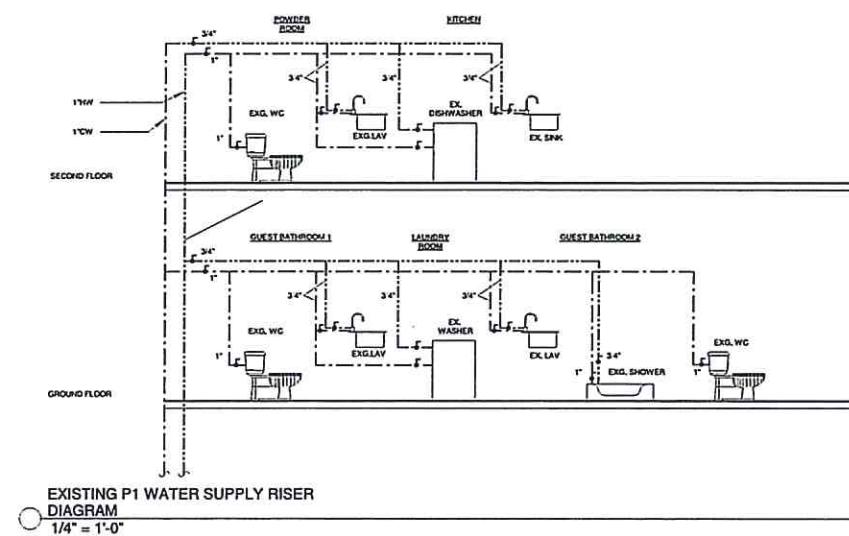
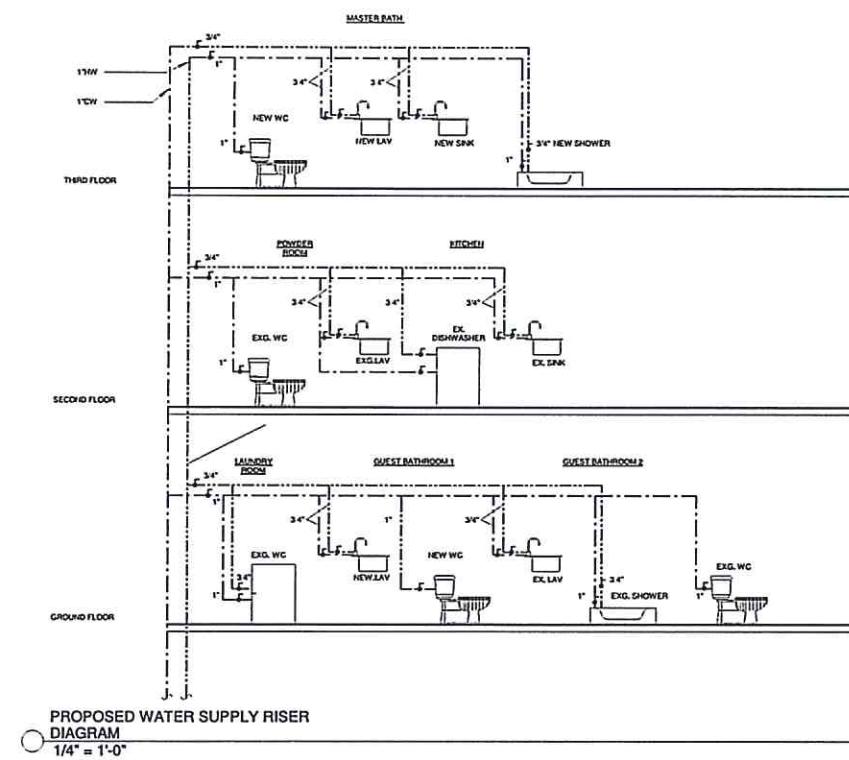
A-300.00

NOTES

DRAWING ISSUE		
NO.	DATE	ISSUED FOR
1	12/24/2022	Greenport Village Review
2	2/25/2023	Greenport ZBA Submed
3		
4		
5		
6		

NOTES:

1) [403.4] HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.
 2) [403.5.3] Hot water pipes are insulated to ≥R-3.



THIS APPLICATION IS APPROVED ONLY FOR WORK
INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL
OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR
TO BE CONSIDERED AS EITHER BEING APPROVED OR IN
ACCORDANCE WITH APPLICABLE CODES.

Consultants:
SPINKLER ENGINEER
SENTRY AUTOMATIC FIRE
PROTECTION INC.
735 Flanders road
Flanders, New York 11901

Architect of Record:
ISAAC - RAE
11575 Main Bayview Road
Southold, NY 11971
Contact: Isaac Clay Coffey
NYS LIC#039767
T. 347-276-6093 E. clay@isaac-rae.com

Project:
511 CARPENTER ST.
GREENPORT NY 11944

Project No.:
IR-02
Seal/ Signature:

MAR 1 1 2021

Date: Scale:
AS NOTED
Drawing Title:
PLUMBING RISER DIAGRAM

Drawing No.:

P-100.00